



## 8.0 Residential Rehabilitation Guidelines

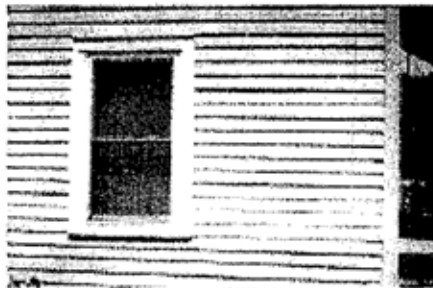
These residential rehabilitation guidelines will help the property owner make the right decision when it comes to planning repair and maintenance projects that will preserve the character of their historic residential buildings. The development of these guidelines is based on an analysis of the Hampton Heights neighborhood, but the guidelines are general in application. Information specific to Hampton Heights is provided with each guideline.



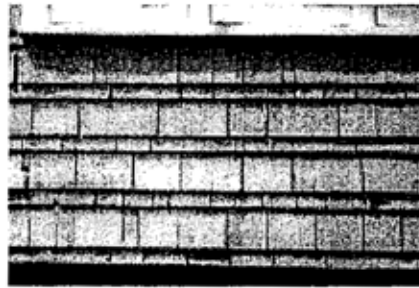
## 8.1 Building Elements and Details

### 8.1.1 Exterior Materials

The dominant exterior materials used in a neighborhood or historic district contribute to the visual relationships among buildings. Sometimes only a few materials will be seen resulting in uniformity and continuity. It is also possible for considerable variety of surface materials and treatments to characterize an area, and yet even in such cases the addition of certain materials would greatly disrupt the predominant visual textures.



This original wood siding has been well-maintained.



Wood shingles provide a significant exterior texture and should be maintained.

**Guideline - Retain original wood siding and repair rather than replace damaged material whenever possible. When replacement is necessary, replace only deteriorated materials and match the original material in size, shape, texture, and material. Paint removal and repainting shall be done using appropriate techniques that do not damage the historic material.**



Artificial siding added to this house has altered the relationship of the window moldings to the exterior wall, and the house has lost details.



Brick veneer has been inappropriately added to this originally wood-sided house.

**Guideline - The application of artificial or nonhistoric exterior siding materials such as brick veneers; asphalt shingle siding; and cementitious, aluminum, or vinyl siding is strongly discouraged. These materials are not successful in mimicking details of original wood siding (the most common material over which they are applied); subsequently, their use greatly compromises the historic integrity of buildings. Application often results in the loss or distortion of architectural details, and improper installation can result in damage of historic materials.**

**Guideline - Retain original masonry without the application of any surface treatment, including paint. Avoid chemical or physical treatments, such as sandblasting, that cause damage to historic materials. Masonry cleaning shall be done using the gentlest means possible. Repointing of mortar joints shall only be undertaken when necessary, and appropriate techniques, tools, and materials shall be used to avoid damage to the historic masonry and to match the existing visual character.**



This brick masonry has been properly maintained.

**Guideline - Stucco facing requires periodic maintenance and shall be repaired with a stucco mixture that comes very close to duplicating the original material in both appearance and texture.**



The smooth surface finish of this stucco exterior should be maintained.

### *Hampton Heights*

**W**ood is the predominant exterior wall cladding material. Weatherboard is most common, and there are also a large number of wood-shingle exteriors. Stucco and brick are less common. Fieldstone is used in a few instances as an accent material.

*Following are common rehabilitation issues in this district:*

- ❁ application of artificial siding*
- ❁ inappropriate brick veneer*
- ❁ maintenance/repair of materials*
- ❁ retention of wood-shingle exteriors*

## 8.1.2 Architectural Details

Architectural details, such as brackets, cornerboards, moldings, cornice details, decorative window and door trims, and shingles are essential to the historic character of buildings and districts.



This decorative gable is an important character-defining feature of this turn-of-the-century house and should be maintained.

**Guideline - Architectural details shall be maintained and treated with sensitivity. The removal of such details or application of details inappropriate to the period or style of a house is strongly discouraged. Repair rather than replace damaged elements whenever possible. Historic details that have been lost or are beyond repair may be replaced with new materials, provided that their earlier presence can be substantiated by historical evidence and that the new materials match the original in composition, design, color, and texture.**






The square posts, low-pitched pediment, and multi-paned sidelights of this entrance are distinctive features of the Craftsman style that should remain intact.

### *Hampton Heights*

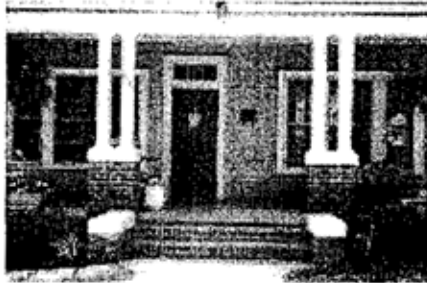
One of the defining features of Hampton Heights is its fine collection of stylistic residences representing late-nineteenth and early-twentieth-century residential architecture in Spartanburg.

*Following are common rehabilitation issues in this district:*

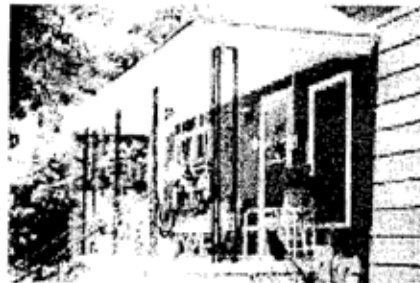
-  *loss of details due to application of siding*
-  *maintenance/repair of details*
-  *replacement and removal of details*

### 8.1.3 Entrances and Porches

Entrances and porches are quite often the focus of historic residential buildings, particularly when they occur on primary elevations. Together with their functional and decorative features, they can be extremely important in defining the overall historic character of a building.



The Craftsman-style features of this porch, including the square posts on brick piers, are intact.



This porch has lost its original porch posts, altering the historic appearance of the house.

**Guideline - Retain original porches and steps. Repair of porches shall not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless seriously deteriorated. If replacement materials must be introduced, the new shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated, if possible, by documentary and physical evidence.**



This front porch has been partially enclosed with screen and partially with solid siding. Enclosing it only with screen would have retained more of the original open feeling.



This once open front porch has been completely enclosed as an interior space, drastically altering the house's front facade.

**Guideline - The enclosure of front porches, side porches, and porte cocheres visible from a right-of-way is strongly discouraged. Porches that are enclosed shall utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.**



The original entrance door has been replaced with a new wood door and storm door, both of incompatible design.



This house originally had two front doors, but one has been completely removed, changing an important character-defining feature of the house.

**Guideline - Retain original doors unless deteriorated beyond repair. Screen and storm doors shall not detract from the character of the house and shall be designed to be compatible with original doors. In the case of a replacement for a deteriorated door, the new door shall be similar to the original in design and materials. Original door openings shall not be infilled on facades visible from the public right-of-way.**

### *Hampton Heights*

*The residences of Hampton Heights display a variety of porch forms ranging from a modest Colonial Revival entrance porch to an elaborate two-story Neoclassical portico, from a recessed corner porch on a Craftsman house to a delicate wraparound porch typical of the Queen Anne style. The form and details of porches are generally determined by the style of their house. Many of the early-twentieth-century revival styles, such as the Colonial Revival and English Vernacular Revival, highlight the primary entrance with pilasters, pediments, sidelights and fanlights, arches, and various other details. In contrast, the earlier styles of Queen Anne and Folk Victorian focus much of their detail on large porches that cover one or more facades. A number of side porches are present in Hampton Heights as well. Regardless of the degree of stylistic expression, these porches and entrances are essential to the character of their buildings.*

*Following are common rehabilitation issues in this district:*

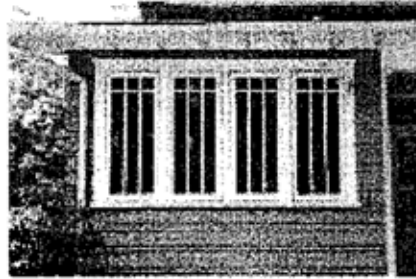
- ✿ inappropriate porch enclosures*
- ✿ incompatible replacement of porch details*
- ✿ maintenance/repair of porch details and elements*
- ✿ door replacement/infill*
- ✿ storm and screen doors*



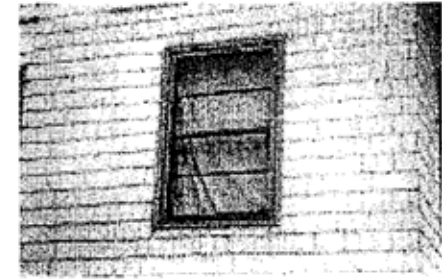
## 8.1.4 Windows

Windows are very important in creating rhythm on a house and also play a role in the directional emphasis and scale of buildings. Highly decorative windows with distinctive shapes or glazing patterns are always character-defining features of buildings.

**Guideline - Existing windows, including window sash, glass, lintels, sills, frames, molding, shutters, and all hardware shall be retained and repaired through routine maintenance whenever possible. When deteriorated elements must be replaced, new materials shall be compatible with original materials in terms of material, design, and hardware. If it is necessary to replace an entire window, the replacement shall be sized to the original opening and shall duplicate all proportions and configurations of the original window.**



These distinctive Craftsman-style casement windows are in good condition and should be retained.



The original window was replaced with a new window of incompatible style.

**Guideline - The addition of storm windows shall be accomplished without seriously compromising original window appearance. Storm windows shall not damage original window frames and shall be removable at a later date.**



These storm windows are removable and do not detract from the historic window pattern.

### Hampton Heights

The residences of Hampton Heights display a variety of window types and materials. Sash, casement, pivot, and decorative fixed windows are all found in the district. Wood sashes are most typical, but metal, as in the case of casement, is also present. Single, grouped, tripartite, and even banded are all arrangements found in the district. Bay windows are an important massing element on some houses. The glazing patterns, materials, and arrangements of windows play a key role in defining the styles of Hampton Heights architecture and contribute to the overall appearance of the district.

Following are common rehabilitation issues in this district:

- ❁ incompatible window replacement
- ❁ incompatible placement of mechanical services
- ❁ maintenance/repair of window elements
- ❁ storm windows

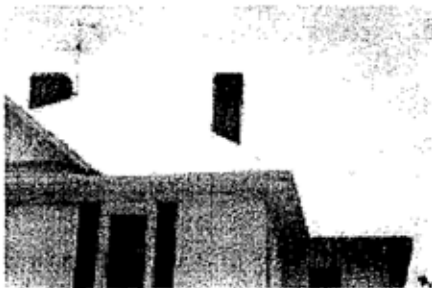
### 8.1.5 Roofs, Chimneys, and Dormers

**O** riginal roof form - with its shape; features such as dormers, cresting, and chimneys; slope; material and color; and patterning - is an essential and character-defining feature of a building. In addition, sound roofs are essential to a building's preservation.



This gabled roof with dormer is an important character-defining feature of this house, and the visible roof form should not be altered.

**Guideline - Retain the original roof form. No addition to a house shall greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers shall also be retained. Skylights shall be installed to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out of view of the public right-of-way to create this space.**



The pressed metal shingles on this house are a significant historic roofing material that should be retained.

**Guideline - Historic roofing materials, such as clay tile and slate, should be repaired rather than replaced, if at all possible. While repair or replacement with like-materials is often considered to be cost-prohibitive, it should be remembered that life expectancies of these roofs (slate - 60 to 125 years and longer; clay tile - 100+ years) is considerably greater than most replacement materials. Clay tile and slate roofs are always character-defining features of their buildings; therefore, if replacement is necessary, new materials should match as closely as possible the scale, texture, and coloration of the historic roofing material. (Preservation Briefs 4, 29, and 30, referenced in the Sources Section, provide specific information on preserving slate and clay tile roofs.)**





This corbeled brick chimney is an important feature and should be maintained.



This saddlebag house has lost its central chimney, an important character-defining feature of the saddlebag house type.

**Guidelines - Original chimneys are often character-defining features of historic houses and shall be properly maintained; they shall not be covered with stucco or any other material, unless historically covered. A prominent chimney that is no longer in use still functions as an important element in the overall composition of a house and shall not be covered, removed, or replaced.**

### *Hampton Heights*

*Hipped, gabled, flat, parapeted, cross-gabled, cross-hipped, and gambrel are all principal roof forms represented in Hampton Heights' architecture. Massing elements such as projecting bays, porches, and dormers display secondary roofs that may connect with and impact the overall impression of the roof form. Pitch and orientation help to create patterns and rhythms throughout the district. Asphalt shingles are the common roof material in the district, but pressed metal shingles, and clay and cement tile roofs are present. Brick is the dominant chimney material. All of these elements are important character defining features that contribute to the stylistic expressions of buildings.*

*Following are common rehabilitation issues in this district:*

- ✿ maintenance/repair of roof materials*
- ✿ preservation of original roof forms and features*
- ✿ maintenance/repair of chimneys*
- ✿ chimney removal*

## 8.1.6 Gutters



This downspout has been correctly placed along the building corner, but appears to be disconnected from the gutter, providing a potential for water damage.

**Guideline - Adequate roof drainage is necessary to (1) insure that roofing materials provide a weather-tight covering, and (2) prevent water from splashing against walls and foundations or draining toward buildings. Gutters and downspouts shall be maintained in their original appearance and location. It is particularly important that downspouts be situated along the edges and corners of buildings and along porch supports to limit visual disruption.**

### 8.1.7 Foundations

Foundations primarily play a functional role by providing support for the structure above. Oftentimes they are subtle elements that blend with the rest of the building. They can, however, contribute to the stylistic expression of a building.



This solid brick foundation is in good condition.



This brick pier foundation has been inappropriately infilled with concrete blocks.

**Guideline - Work involving foundations shall, to the extent possible, preserve original appearances and materials. Original foundation materials shall not be covered with stucco or other materials. The infill of pier foundations shall be done in a way that maintains the appearance of foundation piers. A simple temporary material, such as wood lattice, is most appropriate. A less desirable solution is the use of a solid material. In both cases, the infill material shall be recessed behind the original piers and shall allow for significant ventilation underneath the structure. (See guidelines in Section 8.1.1.)**

#### *Hampton Heights*

*Foundations in Hampton Heights are, for the most part, solid brick. Some examples of brick piers are present.*

*Following are common rehabilitation issues for this district:*

- ✿ foundation covering and infill*
- ✿ maintenance/repair of foundation materials and elements*

### 8.1.8 Exterior Colors

Exterior colors will not be reviewed by the Board of Architectural Design and Historic Review. For those homeowners considering painting, here are some basic recommendations.

**Recommendation - Appropriate paint colors are usually related to the style and type of the property in question. Homeowners considering painting their homes are encouraged to determine the range of paint colors and techniques applicable to the particular architectural period of their property so that a proper choice might be made. The placement of different colors on a house (i.e., the primary color as well as trim colors) is also of critical importance. (A source that provides historic illustrations, color palettes, and placement information is A Century of Color: Exterior Decoration for American Buildings, 1820-1920 by Roger Moss.**

#### *Hampton Heights*

*For most Hampton Heights homeowners, paint color choices will be an issue, as the large majority of houses have a wood exterior that will require periodic painting. Brick houses that have not been painted are best left unpainted.*

### 8.2 Interiors

The Board of Architectural Design and Historic Review will not consider proposed changes to interiors unless those changes would have an effect on exterior architectural features.

Although not required, it would be wise for property owners to make every effort to preserve the historic characters of their building interiors as they are valuable assets of the property. Following are some helpful recommendations for property owners to follow.

**Recommendation - When planning a rehabilitation, particularly in the case of adaptive use, preserve as much of the significant historic floor plan as possible. If changes are needed, attempt to make changes in such a way that they are reversible and do not damage or result in the loss of historic materials.**

**Recommendation - Care should be taken to preserve character-defining interior features such as wood floors, molding, picture rails, fireplaces, paneling, plaster details, and other details that distinguish historic buildings from new construction.**

**Recommendation - The visible interior features of heating, lighting, air conditioning and plumbing systems may contribute to the overall character of a building. Retaining these elements, when possible, should be considered. This will likely require upgrading and augmenting the system components themselves.**

### 8.3 Maintenance



The paint job on this house is an important part of its regular maintenance.

**Recommendation - The most effective and economical way to preserve a historic building and its site features is to provide regular maintenance thus minimizing the need to replace historic materials.**

### 8.4 Nonhistoric Infill

#### *Hampton Heights*

*A number of nonhistoric and sometimes incompatible buildings have been constructed in the Hampton Heights neighborhood over the years. The majority of these are apartment buildings that have provided needed housing in Spartanburg. Several of these buildings were constructed in the 1940s shortly after World War II and will soon be fifty years old and may be considered historic in their own right. Many of these buildings, however, have been neglected and are in need of general maintenance and repair. Rehabilitation treatments should follow the design guidelines provided in Section 8.1. - Building Elements and Details. If considered historic, the original character of these buildings should be maintained, and no attempt should be made to make them appear older.*







## 9.0 Mill Village Rehabilitation Guidelines

These rehabilitation guidelines are specifically aimed at the preservation of the historic house types found in the “typical” Spartanburg mill village. The character of these communities comes from the collections of historic house types typically built by the mill company for its workers, providing them with a comfortable and convenient place to live near the mill.

House types such as those found in mill villages have certain characteristic elements that form the definition of their type and distinguish them from other types. Some types share some of the same elements, but each has their own unique combination. These key elements include building height, roofs, porches, doors, chimneys, and interior floor plan. Guidelines found in *Section 9.1 House Types and Their Forms* have been developed to specifically address the six defining elements of a house type. Their implementation will help preserve the integrity of these house types which, in turn, will preserve the essential character of the mill communities. When reviewing applications for Certificates of Appropriateness, the Board of Architectural Design and Historic Review should also reference appropriate guidelines found in *Section 8.0: Residential Rehabilitation Guidelines*.

The development of these guidelines is based on an analysis of the Beaumont Mills residential community, but the guidelines are general in application and are appropriate for use with mill communities throughout the City of Spartanburg. For a discussion of the house types found in Beaumont, see *Section 4.2: Architectural Resources of Beaumont*.



## 9.1 House Types and Their Forms

### 9.1.1 Building Height

Building height plays an important role in house type definition. A one-story house type is generally referred to as a “cottage,” and a two-story house type as a “house.” Some house types have both one- and two-story versions, while others may be only one-story or two-story. For example, a bungalow is by definition a one-story building. An I-house, on the other hand, is always two stories. Therefore, a building’s original height is important to the definition of its house type.



The one-story height of these saddlebag houses is a characteristic element of the type.

**Guideline - Respect the original building height. Additions to a house shall not alter the original appearance of the front facade.**

### 9.1.2 Roof Form

The shape of a principal roof is a defining characteristic of many house types. For example, side-gabled, front-gabled, hipped, pyramidal, cross-gabled, and gable-on-hip are all principal roof forms that help define the house types of Beaumont.



These front-gabled roof forms help define these house types.



This hipped cottage is distinguished by its distinctive hipped roof.

**Guideline - Retain the original roof form. No addition to a house shall greatly alter the original form of a roof or render that form unrecognizable.**

### 9.1.3 Porch Type and Placement

**P**orches are very visible features that help define the overall historic character of a building and may be an important part of the definition of a house type. Most mill village houses have a variety of simple porch forms that include shed, hipped, gabled, and recessed.



Several variations of porches are found on the side-gabled houses of Beaumont, including this shed porch.



This front-gabled porch is another variation.

**Guideline - Retain original porches. Their important features, such as roof shape and pitch, as well as their original size and placement shall not be altered.**



This front porch has been enclosed with screen, maintaining its original open character.



This porch has also been appropriately enclosed with screen.

**Guideline - The enclosure of front porches is discouraged. Porches that are enclosed shall utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.**

### 9.1.4 Primary Entrance(s) - Number and Arrangement

The number and placement of primary exterior doors may play a role in the definition of a house type. For example, Beaumont contains two variations of the saddlebag house type - one with two front doors and one with one front door. The doors are important character-defining features of the two variations. The Georgian house, because of its symmetrical floor plan, will always have a main door centered in the front facade and opening into the central hallway.



This saddlebag retains its original two front doors.

**Guideline - Maintain the original number and placement of primary exterior doors on a house's front facade. Altering the location or infilling primary door openings is discouraged.**

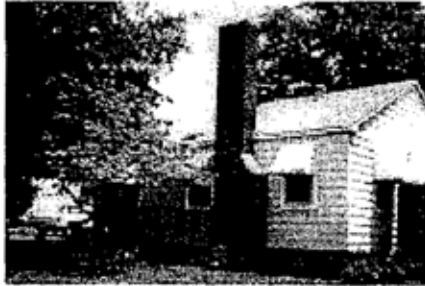


This saddlebag has unfortunately lost one of its original two front doors.

**Recommendation - Exterior doors should be retained in their original locations- even if they are no longer used- as an entrance to maintain the original exterior arrangement.**

### 9.1.5 Chimney Placement

Chimney placement is a significant character-defining feature of many house types. Chimneys are generally placed either on the interior of a house so that only the chimney's top shows or along an exterior wall so that the entire chimney can be seen. For example, in Beaumont, there are a variety of chimney placements, including interior roof ridge, interior roof slope, exterior front facade, and exterior side facade. Many Beaumont houses also have a secondary chimney near the rear of the house.



This distinctively shaped brick chimney is found on a number of Beaumont houses and is an important character-defining feature.



The central chimney is the most significant feature in the definition of the saddlebag house type.

**Guideline - Original chimneys are a character-defining feature of historic house types and shall be properly maintained in their original locations. A prominent chimney that is no longer in use still functions as an important element in the overall composition of a house and shall not be covered, removed, or replaced.**

### 9.1.6 Interior Floor Plan

The floor plan (arrangement of rooms on a building's interior) is an essential part of the definition of house type. The interior arrangement of rooms determines a house's exterior shape and height. Many house types have very specific floor plans that are part of their definition, such as the Georgian House, which has a central hallway with two rooms symmetrically placed on either side. Other house types have more varied floor plans, such as the bungalow, which has a generally rectangular plan with a variety of asymmetrical room arrangements.

**Recommendation - Although not the purview of the Board of Architectural Design and Historic Review, the original interior floor plan should be retained as much as possible. While additions and alterations may be made, particularly to the rear of a house, the original room arrangement that defines a building's house type should be respected.**

## 9.2 Other Residential Building Elements and Details

Guidelines presented in *Section 8.0: Residential Rehabilitation Guidelines* should be used to supplement the guidelines presented here in *Section 9.1*.

## 9.3 Community Buildings and Spaces

Typical community buildings and spaces found in mill villages include churches, community centers, and open areas that provide gathering places for the residents. These resources are amenities to the community. They may be landmark buildings or landscapes that are significant defining elements in the mill community. The Beaumont mill village has three churches and a ball field that serve their community.

**Guideline - Preserve community buildings and spaces that are significant defining resources within a mill village. Rehabilitation treatments for community buildings shall follow the design guidelines provided in Section 7.3: Institutional Rehabilitation Guidelines and Section 8.0: Residential Rehabilitation Guidelines. Landscape rehabilitation of community spaces should follow the design guidelines provided in Section 10.3: Mill Village Landscape Guidelines.**



## 9.4 Mill Buildings Complex

The complex of historic mill buildings, if still intact, associated with a mill village is a significant defining resource. These buildings provide identity for the community and obviously play a key role in the overall layout of the area. The complex typically consists of large-scale manufacturing facilities accompanied by structures such as smoke stacks and smaller-scale office/management buildings, often residential in character.

**Guideline - Preserve individual buildings and structures of a historic mill building complex, as well as the arrangement of those resources. Rehabilitation treatments for the large-scale manufacturing buildings shall follow the design guidelines provided in Section 7.3: Institutional Rehabilitation. Rehabilitation treatments for the smaller-scale office/management buildings shall follow the guidelines provided in Section 8.0: Residential Rehabilitation Guidelines.**

Buildings historically used for manufacturing are subject to major changes to accommodate technological advances that allow them to remain in industrial use. Such rehabilitations often include changes to existing or installation of new heating, ventilating and cooling systems. Windows, which typically provide a strong visual element to relatively simple or unadorned industrial buildings, frequently fall victim to these types of projects.

**Guideline - Avoid replacement of windows that are important in establishing the historic character of the building (visually prominent windows and windows contributing to an overall pattern or rhythm). Repair and retrofitting of historic windows is the preferred course of action. (Preservation Brief 9: The Repair of Historic Wooden Windows and Preservation Brief 13: The Repair and Upgrade of Historic Steel Windows are excellent sources.) If necessary, significant windows shall be replaced in kind in order to maintain the historic character of the building.**

**Guideline - The installation of major HVAC systems shall not obscure significant architectural features, and new systems shall be placed on a facade that is not visually prominent.**

**Guideline - Retain associated structures such as smokestacks. Provide repair and maintenance as needed to preserve their historic character.**



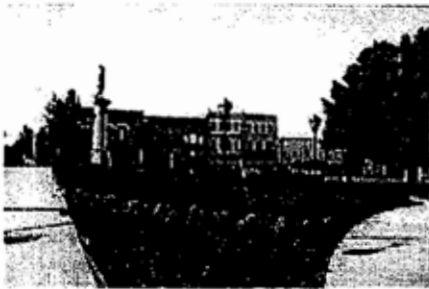
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10.0 Landscape Guidelines





Future open space improvements and opportunities for new buildings is offered in the large expanse of vacant space at Morgan Square.



View of Morgan Square, looking northeast, illustrating today's contemporary landscape treatment of the space.



View of Morgan Square, looking southwest, illustrating additional landscape zones. Relocation of clock tower in early 1980's helped to reinforce the important role of the square in downtown Spartanburg.

## 10.1 Commercial

### 10.1.1 Preservation of the Town Form

The informal layout in the town center forms the framework for the commercial historic district. Public right-of-ways should be considered "sacred" as the foundation for the district's historic character. Without the intact town form, historic resources in downtown Spartanburg would lose much of their meaning and context. The elements of the town plan which should be preserved include the existing pattern of streets and sidewalks and the open space of Morgan Square.

**Guideline - Protect the original layout of the commercial historic district through the preservation of the existing layout of streets and sidewalks and the open space of Morgan Square.**

### 10.1.2 Enhancement of Morgan Square

Morgan Square is the most significant open space in downtown Spartanburg. The character of the space has changed dramatically over time - the statue to Daniel Morgan has been moved changing the orientation of the original space; the greenspace itself has been changed with contemporary landscape treatments and additional space provided for vehicular circulation and parking; and buildings that once encircled the square have been removed leaving an open landscape today.

**Recommendation - Morgan Square should be redesigned as the focal point in the commercial district through landscape and site improvements. Improvements should allow the space to function efficiently for vehicles and pedestrians, while visually expressing the square's role as a significant historic open space. The historic character of the downtown district should be highlighted through the use of materials and design elements that are appropriate to the age of the district.**

### 10.1.3 Recommended Vegetation

(Also refer to 10.2.1 Vegetation Management and 10.2.2 Tree Placement in section 10.2 Residential Landscape Guidelines.)

Existing vegetation in the commercial district offers a diversity of tree types. Most are predominately native hardwood trees. There are a few examples of intensive shrub and ground cover plantings. Most trees have been planted within the last thirty years. Nevertheless, native hardwoods appear from historical views to have been the major type of trees used in the past. Native hardwoods are the most desirable trees for street tree replacements or new plantings.

**Guideline - Maintain the informal character of street tree plantings in the district through the preservation of existing native trees and the replanting of trees using native hardwoods. Avoid the addition of trees with formal habits, such as Bradford Pears. Existing trees with formal habits shall be replaced as they die or become aged with native hardwood species.**

**Maintain the historic character of the district through the use of trees appropriate to the age of the district. Crape Myrtle and Ginkgo trees are examples of appropriate tree varieties introduced into this country prior to the establishment of the city. Bradford Pear is an example of a tree that was introduced in the early 1900s, after the establishment of the city.**



Plants, particularly low shrub groupings, can be used to buffer parking areas.



View of Bradford plantings illustrating formal character of these trees which contrast with the informal habit of native hardwoods.

### 10.1.4 Compatible Streetscape Form and Materials

The existing sidewalk system in downtown Spartanburg, ranging in width from nine to twelve feet, provides adequate space for the pedestrian. Many of the sidewalks have been paved with brick as part of past streetscape projects. Streetscape elements include pedestrian scale light fixtures, benches, and trash receptacles.

**Guideline - Improvements to the streetscape in the future shall strive to complement past improvements and add elements that reference the historic character of the commercial district. There should be compatibility in the use of materials and design elements throughout the downtown district.**



### 10.1.5 Rear Access

Opportunities abound in downtown Spartanburg for rear access to the commercial buildings. Many rear access opportunities were created when portions of Main Street became a pedestrian mall and parking areas were developed at the rear of the commercial blocks.

**Recommendation - Parking areas at the rear of the commercial blocks could be improved and their use increased through landscape enhancements and the creation of rear access points to the downtown buildings. Tree plantings within these large open parking lots is suggested to visually "soften" and physically "cool" these spaces. Tree and shrub plantings within the lots as well as on the edges are suggested as buffers to adjacent roads.**

**Rear access points to the buildings will enhance the viability of downtown buildings. Rear access points should be designated through signage and/or awnings at rear doorways to assist downtown visitors in locating the businesses. Interior modifications may also be necessary to allow visitors to pass through rear sections of the buildings.**



View of rear access opportunity to commercial blocks.

### 10.1.6 Gateway Opportunities

The development of gateways in downtown Spartanburg would help to define the boundaries for the local historic district and create an identity for the area. There are currently no gateway features to inform the visitor or resident that they are entering a special area of the city.

**Recommendation - Gateway features should be considered at major access points in the downtown district. The design of gateways should reference the historic character of the district and complement existing materials and design elements in the town center.**

## 10.2 Residential

### 10.2.1 Vegetation Management

(Also refer to 10.1.3 Recommended Vegetation in Section 10.1 Commercial Landscape Guidelines.)

The Hampton Heights Historic District is characterized by a mature hardwood forest contained within its public open spaces and privately-owned residential lots. The management of this vegetative resource within the district will assist in the perpetuation of this significant character-defining feature. A management plan should include an assessment of the existing resource through a tree inventory and recommendations for rejuvenating the existing urban forest.



View along Spring Street illustrates the mature vegetation found throughout the district.

**Recommendation - The mature hardwood forest within Hampton Heights Historic District should be perpetuated through a district-wide management program and replanting strategy. A management plan should be developed to preserve existing trees and to provide guidance for adding new plantings to the district. A management plan typically includes the following elements: (1) an inventory and evaluation of existing vegetation (tree type, size, and condition); (2) recommendations on the maintenance of existing trees; and (3) an approach to underplanting. In an underplanting effort, young trees of identical or compatible varieties are planted adjacent to deteriorated or aged tree for the purpose of eventual replacement. A diversity of tree types is recommended to perpetuate the existing character of most tree groupings. Replacement trees of adequate size (not seedlings!) are recommended. Trees should be replaced when mature trees are lost to age or damage or are removed for safety reasons. Pruning of dead wood will likely be required to stimulate growth of mature trees. The urban tree management strategy should encourage appropriate actions by the city as well as private property owners.**

Several of the district's large open spaces, adjacent to streams and drainage ways, contain a proliferation of exotic species, particularly kudzu, within the native hardwood forest. Exotic vegetation creates a monoculture environment, restricting the growth of natural vegetation and limiting the biodiversity of an area. These exotic species should be removed by the most environmentally responsive approach possible.

**Recommendation - Aggressive exotic vegetation should be removed, since it is a detriment to the natural ecology of an area. The following specification is one of the most effective approaches in removing kudzu. It requires cutting at strategic times and the use of "Round-Up," the only pesticide used by the National Park Service.**

*Eradication of Kudzu - All kudzu vines which are climbing into trees or other vertical elements shall be cut at a height of 4' - 5' above grade. All kudzu below this height shall be sprayed with Round-Up brand (or other similar herbicide) per manufacturer's instructions. The best time for spraying is in late May after all of the new foliage has emerged, however, spraying can be done at any time during the growing season. A second spraying of any remaining live kudzu shall take place 3 - 4 weeks after the initial spraying. No planting should take place in these areas until a minimum of seven days after the second spraying. Any remaining live kudzu can be sprayed a third time, though this will probably not be necessary. Isolated spot spraying may be necessary the following year. In areas of dense growth, most of the old vines will decay within 12 - 24 months. Supplemental methods such as discing or mowing may be used to assist with kudzu removal once the initial spraying has taken place. Stronger herbicides may be somewhat more effective, but due to the higher toxicity and potential hazard we do not endorse their use.*

*(Specification obtained from Kennesaw National Battlefield Park, National Park Service, U.S. Department of the Interior.)*

## 10.2.2 Tree Placement

The types of trees that exist or can be planted in the future along the roadways within Hampton Heights is determined by the available area within the greenspace. The greenspace, which is situated between the raised curb and sidewalk, has a wide range of widths (1' on Carlisle and Hidrick streets to almost 12' on Hampton Drive). The width determines the most appropriate type of tree to plant. The mature size of trees should be the major consideration. Tree height limits should be determined by the presence or lack of overhead wires. Typically, oaks and maples are the types of trees most suitable for the more spacious locations. Dogwoods, redbuds, and crape myrtles are most suitable for the more narrow spaces.

Overall public greenspaces in Hampton Heights are narrow (most less than five feet), preventing the planting of large scale trees. Tree planting on adjacent private property is strongly encouraged. Such tree planting should be located close to the street. This will eventually create a treed canopy effect on district roadways.

Special accommodations will be necessary to retain the vegetation in those greenspaces with limited space where large hardwood trees, such as oaks, are currently located. Techniques to consider that will allow the trees maximum growing space include: (1) using porous pavers in place of nonporous concrete paving for the sidewalk, which allows penetration of water to tree roots; or (2) a realignment of the existing sidewalk away from the base of the tree are techniques.

**Guideline - The following are planting guidelines within available green spaces:**

<u>Green Space</u>	<u>Recommended Tree Varieties</u>
8' and greater	oak, sycamore, tulip poplar
4' to 8'	maple, green ash, black gum
less than 4'	small native hardwoods

**The following are height planting guidelines:**

**Overhead wires present - Small native or non native trees**  
**Overhead wire absent - Large native hardwood trees**



View along Irwin Street , south of Hampton Drive intersection, illustrates the spacious greenspace in this area of district, allowing planting of large scale trees.



Brookwood Terrace does not include greenspace, requiring all tree planting on private lots.



Example of large scale tree that has overgrown available space. Adjustment to sidewalk alignment allows the retention of such mature vegetation.

### 10.2.3 Walks and Drives



Photograph illustrates an example of "driveway tracks" or driving lanes, a historic treatment that should be retained.



Photograph illustrates raised yard effect with central walks, another historic landscape treatment to retain.

**Recommendation** - The established pattern of walks and drives within the district should be continued. Existing paving materials of concrete, asphalt, and brick should be repaired, where feasible. New surfaces should be compatible with these predominate materials. The use of driving lanes, designed to facilitate only the car's wheels, is a historic treatment which is encouraged to retain porous surfaces.

### 10.2.4 Enclosures

Hampton Heights Historic District is characterized by open front yard spaces that blend together to create a continuous lawn. The location of front yard fences is disruptive to this historic pattern. Enclosures, including fences as well as vegetative hedges, are sometimes used as side yard separations between lots.

Fences are also used in the rear yard of residential spaces. Rear fencing does not disrupt the visual continuity of the spaces between structures. Rear fencing is appropriate within the neighborhoods of the local district. Rear fencing also assists in buffering obtrusive traffic noise at major intersections within the district. The Spring Street Extension is an example of an area where a rear yard buffer is necessary to shield traffic noise and views.



Example of side yard fencing in Hampton Heights.



View of rear yards fronting Spring Street Extension, where enclosure to buffer traffic is highly desirable.

**Guideline** - Fences are discouraged in front yard spaces of the district but are appropriate in rear yard spaces and along side yard boundary lines. Rear yard fences shall be coordinated with existing city codes. Suggested materials for rear yard fencing include vegetation, wood and chain link. Vines are suggested to "soften" the appearance of chain link fencing. If wood fencing is used, the paint color and design shall be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.

## 10.2.5 Landscape Design

In developing a plan to guide residential landscape improvements, basic decisions will need to be made at the outset of a project. Is it the intent to accurately restore the grounds to the appearance when the building was constructed, or to a later period when the landscape design had matured? Is it the desire to keep the overall character of the property but to integrate modern plantings and features? Or is it the intent to use the site, and integrate parking and other functions necessary for contemporary use of the property?

Residential yards in the Hampton Heights Historic District feature landscaped front yards with diverse collections of plant materials. Rear yards are used more informally and are not typically visible from the public right-of-way. Historic landscape layouts and forms should be retained or recreated or interpreted in improvements to residential yards.

Residential yards, originally created by noted landscape designers, will require special attention. Original plans and specifications should be used, if they can be located, in updating plantings.

**Recommendation - Suggested steps to follow in the redesign of residential landscapes are noted below:**

- 1 Understand the original landscape design through historic research;**
- 2 Compare the existing landscape with the documented historic landscape;**
- 3 Identify any features that are part of the historic landscape;**
- 4 Be sensitive to the potential of archeological features (Refer to Section 10.2.10 Archeology);**
- 5 Identify site needs, develop a program for the site (circulation versus planting zone); and**
- 6 Develop an updated plan for the landscape that retains as much historic material, as possible, and accommodates today's functional needs in a manner that is in the spirit of the historic design.**



## 10.2.6 Accessory Buildings

A number of historic garages and garage apartments remain intact in the Hampton Heights neighborhood. These accessory buildings are generally located to the rear of the main house and are important site elements of the overall historic property. They often reflect the architectural style and character of the main house in their materials and design. Many of these accessory buildings have been lost over the years.



This wood-framed garage is a historic feature of this property and should be retained.

**Guideline - New accessory buildings, such as garages and storage houses, shall be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement and/or duplicate the architecture of the adjacent residence do not require the same level of buffering but may remain more visible within the local district.**

**Guideline - Preserve accessory buildings that are original to their main houses as significant site elements. Rehabilitation treatments shall follow the design guidelines provided in Section 8.1. Building Elements and Details. The reconstruction of no longer extant accessory buildings shall be based on historic or physical documentation of the buildings' historic appearance, materials, and shape.**

## 10.2.7 Parking

Parking is a contemporary site function which is often difficult to address in a historic district. Many of the streets in the district allow on-street parking, though available space is limited. Parking requirements should be tailored to the basic needs of the proposed use. Numbers of spaces required should not be excessive to the use and special consideration should be given by local authorities to lessening requirements when historic properties are affected. Parking should be located in side yard and rear yard spaces and not extend beyond the front setback line of historic buildings. Plant materials and enclosures should be utilized for screening parking areas. Paving of parking areas should be accomplished without the loss of existing vegetation or the creation of large impervious surfaces. The use of porous pavers as a paving surface is encouraged.

**Guideline - Parking shall be addressed in a manner that does not distract from the overall character of the district. Parking to serve private residential lots shall be accommodated on-site, when at all possible, using the pathway of original drives and parking. It is preferable to expand an existing driveway for parking, rather than to add a separate parking pad. Plant materials can be added around parking spaces to visually buffer the parking from the street.**

## 10.2.8 Mechanical Systems



This window air conditioning unit should be located in a less visible location.

**Guideline - Mechanical systems, such as air conditioning and heating system units and electrical and gas meters (also applies to satellite dishes and other similar technologies), shall be situated in non-obtrusive locations in the landscape surrounding a historic structure or in non-obtrusive locations on a structure. The principal elevation of a building shall not be disrupted by the addition of mechanical services. These utilitarian units shall be screened from view using appropriate fencing or vegetation.**

## 10.2.9 Watershed Protection

Most of the Hampton Heights Historic District is contained within the Fairforest Creek Watershed. This watershed is comprised by a system of secondary and tertiary streams that feed this major creek. Many of these feeder streams and drainage ways are located along rear lot lines in the district.

**Guideline - River protection legislation at the state level requires a 25' setback from the top of a creek bank in the construction of new buildings. All construction within the Hampton Heights District shall follow this setback requirement for all primary, secondary and tertiary creek corridors and drainage ways. This rule shall be applied to all drainage ways within the Hampton Heights Historic District as a method of limiting development in these environmentally-sensitive zones.**

## 10.2.10 Archeological Resources

**Guideline - When planning new construction, additions, or site improvements, minimize disturbance of terrain to reduce the possibility of destroying unknown archeological materials. Sanborn Insurance maps will assist in identifying any potential archeological resources. These historic maps provide footprints of buildings that may have previously existed within a private lot.**

**Recommendation - Consult with qualified archeology professionals to survey areas where major terrain alteration is planned to identify potential archeological resources. Preserve in place known archeological material whenever possible. If preservation in place is not possible, document resources before proceeding with a project.**

## 10.3 Mill Community

(Also refer to Section 10.2 Residential Landscape Guidelines. Many of these guidelines also apply to landscape issues within the Beaumont Mills Historic District.)

### 10.3.1 Preservation of Public Open Spaces

**M**ill villages are characterized by a number of community spaces and structures, such as churches, schools, ballfields, community centers, and stores. In Beaumont Mills, there appear to be two community open spaces. These include a community ballfield and a community garden space.



View of existing community ballfield at edge of Beaumont Mills Historic District.



View of community garden space within Beaumont Mills Historic District.


**Guideline - Preserve significant open spaces, such as the community ballfield and community garden space. Such spaces have historically provided an area for social interaction between residents. These types of public open spaces shall be retained to encourage social activities within the neighborhood.**


### 10.3.2 Preservation and Enhancement of Existing Landscape Character


**B**eaumont Mills Historic District is characterized by a diverse collection of mill village architecture set within a manicured landscape of rolling terrain. Large mature hardwood trees are scattered throughout the district with a concentration of mature vegetation on Phifer Street. There is an extensive pedestrian system throughout the district with concrete sidewalks (3-5' wide) situated on both sides of most roadways. Greenspaces adjacent to roadways are typically grassed, since the narrow dimension (ranging from 3-5') does not allow space for large tree planting.

Chain link fence enclosures in front, side and rear yard spaces are common throughout the district. Most fencing is about 4' high, while a few examples exceed 6' high. The transparent character of this type fencing does not disrupt the open character of the district. There are a few low retaining walls within the district, used primarily to accommodate the topography. Retaining walls are constructed of brick or concrete block.

**Recommendation - The existing landscape character of the Beaumont Mills Historic District should be maintained through the following actions:**

 **vegetation management, maintenance and underplanting program on both private and public property (see 10.2.1 Vegetation Management);**

 **preservation of the original community form through the maintenance of the existing pedestrian system and the preservation of the existing greenspaces adjacent to roadways;**

 **preservation of existing fence enclosure and the addition of new fence enclosures following existing patterns.**



Example of streetscape section on Phifer Street, illustrating treed character of this area of the district.



Example of streetscape section, illustrating relationship of private yard to public right-of-way. Note the absence of trees within public right-of-way due to narrow greenspace and overhead wires.



Retaining Wall example within the district.



Chain link fence is 6' range is more intrusive to character of the district.



Example of non-obtrusive character of existing chain link fencing within the district, particularly fencing in 4' range.

### 10.3.3 Historical Associations

The Beaumont Mills Historic District has a number of important historical associations in the existing mill manufacturing building and the railroad. It is important to retain the physical evidence of these associations in the future.



Existing rail corridor within the Beaumont Mills. Portions of the rail corridor appear to no longer be used for rail traffic, providing an opportunity for a pedestrian trail.



Residential mill village and mill structure are now separated by fencing.

**Recommendation - The historical associations between the residential mill community and the railroad and mill structure should be retained. Preservation of the existing railroad corridor as an active rail corridor or, if abandoned, a community pedestrian trail corridor is suggested. Enhancements to the pedestrian connection between the residential village and the mill building is also recommended.**

## Recommended Plant Materials List

<i>Botanical Name</i>	<i>Common Name</i>	<i>Historic Materials</i>	<i>Southeast Native</i>	<i>Aggressive Exotics</i>
<b>Large Trees</b>				
<i>Acer barbatum</i>	Southern Sugar Maple	√	√	
<i>Acer rubrum</i>	Red Maple	√	√	
<i>Acer saccharinum</i>	Sugar Maple		√	
<i>Cedrus deodara</i>	Deodar Cedar	√		
<i>Chamaecyparicus obtusa</i>	Hinoki False Cyprus	√		
<i>Fagus pendula</i>	Weeping Beech	√		
<i>Fagus sylvatica atropunicea</i>	Purple Beech	√		
<i>Ginkgo biloba</i>	Ginkgo	√		
<i>Gleditschia triacanthos</i>	Honey Locust		√	
<i>Halesia diptera</i>	Silverbell		√	
<i>Juniperus virginiana</i>	Red Cedar		√	
<i>Liquidambar styraciflua</i>	Sweet Gum	√	√	
<i>Liriodendron tulipifera</i>	Tulip Tree	√	√	
<i>Magnolia Fraseri</i>	Frazer's Magnolia		√	
<i>Magnolia grandiflora</i>	Southern Magnolia	√	√	
<i>Magnolia macrophylla</i>	Large-leaf Magnolia		√	
<i>Paulownia imperialis</i>	Paulownia	√		√
<i>Platanus occidentalis</i>	Sycamore		√	
<i>Quercus alba</i>	White Oak		√	
<i>Quercus coccinea</i>	Scarlet Oak	√	√	
<i>Quercus nigra</i>	Water Oak	√	√	
<i>Quercus phellos</i>	Willow Oak	√	√	
<i>Quercus phellos Darlingtoniana</i>	Darlington Oak		√	
<i>Quercus velutina</i>	Black Oak		√	
<i>Robina pseudacacia</i>	Yellow Locust		√	
<i>Salix alba</i>	White Willow		√	
<i>Salix babylonica</i>	Weeping Willow	√		
<i>Staphylea trifoliata</i>	Tree-leaf Bladdernut Tree		√	
<i>Stuarthia pentagyna</i>	MountainStewartia		√	
<i>Styrax americanum</i>	American Storax		√	

## Spartanburg Design Guidelines

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<i>Botanical Name</i>	<i>Common Name</i>	<i>Historic Materials</i>	<i>Southeast Native</i>	<i>Aggressive Exotics</i>
<i>Styrax grandiflora</i>	Large-leaf Storax		√	
<i>Thuya occidentalis</i>	American Arbor Vitae	√		
<i>Tsuga canadensis</i>	Hemlock	√	√	
<i>Ulmus alata</i>	American Elm		√	
<i>Ulmus parviflora</i>	Chinese Elm	√		
<i>Zelkova serrata</i>	Japanese Zelkova	√		
<b>Small Trees</b>				
<i>Acer palmatum</i>	Japanese Maple	√		
<i>Cercis canadensis</i>	Redbud	√	√	
<i>Chionanthus virginica</i>	White Fringe		√	
<i>Cornus florida</i>	Dogwood	√	√	
<i>Coruns kousa</i>	Japanese Dogwood	√		
<i>Cotinus americanus</i>	Smoke Tree	√	√	
<i>Lagerstroemia indica</i>	Crape Myrtle	√		
<i>Magnolia glauca (virginiana)</i>	Sweetbay		√	
<i>Magnolia soulangeana</i>	Saucer Magnolia	√		
<i>Malus floribunda</i>	Japanese Flowering Crabapple	√		
<i>Malus sargentii</i>	Sargent Crabapple	√		
<i>Oxydendron arboreum</i>	Sourwood		√	
<i>Prunus caroliniana</i>	Mock Cherry		√	
<b>Shrubs</b>				
<i>Abelia grandiflora</i>	Glossy Abelia	√		
<i>Acuba japonica</i>	Japanese Acuba	√		
<i>Buxus sempervirens</i>	Common Box	√		
<i>Buxus suffruticosa</i>	Common Box	√		
<i>Calycanthus floridus</i>	Sweet Shrub		√	
<i>Camellia japonica</i>	Camellia	√		
<i>Camellia sasanqua</i>	Fall Blooming Camellia	√		
<i>Camellia sinensis</i>	Tea Plant	√		
<i>Cephalanthus occidentalis</i>	Button-bush		√	
<i>Clerodendron trichotomun</i>	Clerodendron			



<i>Botanical Name</i>	<i>Common Name</i>	<i>Historic Materials</i>	<i>Southeast Native</i>	<i>Aggressive Exotics</i>
<i>Clethera alnifolia</i>	White Alder		√	
<i>Cleyera japonica</i>	Cleyera	√		
<i>Corylus americana</i>	American Hazelnut		√	
<i>Cytisus scoparius</i>	Scotch Broom	√		
<i>Deutzia gracilis</i>	Slender Deutzia	√		
<i>Diervilla amabilis</i>	Weigelia	√		
<i>Eleagnus pungens</i>	Wild Olive/Thorny Eleagnus	√		
<i>Euonymous japonicus</i>	Japanese Euonymous	√		
<i>Forsythia suspensa</i>	Forsythia	√		
<i>Gardenia jasminoides</i>	Gardenia	√		
<i>Gordonia pubescens</i>	Altamaha Gordonia		√	
<i>Hibiscus syriacus</i>	Shrubby Althaea	√		
<i>Hydrangea arborescens</i>	Wild Hydrangea		√	
<i>Hydrangea quercifolia</i>	Oak-leafed Hydrangea	√	√	
<i>Ilex cornuta</i>	Holly	√		
<i>Ilex crenata</i>	Japanese holly	√		
<i>Ilex dahoon</i>	Dahoon Holly		√	
<i>Ilex glabra</i>	Inkberry		√	
<i>Ilex myrtifolia</i>	(Dahoon) Holly		√	
<i>Ilex opaca</i>	American Holly		√	
<i>Illicium anisatum</i>	Anise Tree	√		
<i>Jasminum nudiflorum</i>	Winter Jasmine	√		
<i>Kerria japonica</i>	Kerria	√		
<i>Laurus nobilis</i>	Common English Laurel	√		
<i>Ligustrum chinense</i>	Privet	√		√
<i>Ligustrum japonica</i>	Wax Leaf Ligustrum	√		
<i>Ligustrum lucidum</i>	Privet	√		√
<i>Lindera melissaefolia</i>	Spice Bush		√	
<i>Lonicera fragrantissima</i>	Fragrant Honeysuckle	√		√
<i>Lonicera fragrantissima</i>	Winter Honeysuckle	√		
<i>Mahonia aquifolia</i>	Mahonia	√		√
<i>Mahonia beali</i>	Leatherleaf Mahonia	√		√
<i>Michelia figo</i>	Banana Shrub	√		

<i>Botanical Name</i>	<i>Common Name</i>	<i>Historic Materials</i>	<i>Southeast Native</i>	<i>Aggressive Exotics</i>
Myrica pumilla	Dwarf Myrtle		√	
Nandina domestica	Nandina	√		
Neviusia alabamensis	Snow Wreath		√	
Osmanthus fragrans	Tea Olive	√		
Osmanthus ilicifolius	Holly-leaf Osmanthus	√		
Peegee hydrangea	Hydrangea Grandiflora	√		
Philadelphus coronarius	Mock Orange	√		
Prunus laurocerasus	English Laurel	√		
Pyracantha coccinea	Firethorn	√		
Spiraea vanhouttei	Vanhoutte Spirea	√		
Spirea pruniflora	Bridal Wreath	√		
Spirea thunbergia	Thunberg Spirea	√		
Spirea vanhouttei	Vanhoutte Spirea	√		
Syringa lacinata	Cutleaf Lilac	√		
Vaccinium arboreum	Farkleberry		√	
Weigela species	Weigela	√		
<b>Annuals/Perennials</b>				
Ageratum houstonianum	Mexican Ageratum	√		
Calendula officinalis	Pot Marigold	√		
Canna hybrids	Canna	√	√	
Centaurea gymnocarpa	Dusty Miller	√		
Chrysanthemum hybrids	Chrysanthemum	√		
Chrysanthemum superbium	Shasta Daisy	√		
Chrysanthemum leucanthemum	Daisy	√		
Coleus hybrids	Coleus	√		
Dahlia hybrids	Dahlia	√		
Echinacea purpurea	Purple Cone Flower	√	√	
Hosta plantaginea	Hosta	√		
Hosta species	Plantain Lily	√		
Iris germanica	Bearded/German Iris	√		
Iris kaempferi	Japanese Iris	√		
Oenothera biennis	Evening Primrose	√	√	

<i>Botanical Name</i>	<i>Common Name</i>	<i>Historic Materials</i>	<i>Southeast Native</i>	<i>Aggressive Exotics</i>
<i>Oenothera fruticosa</i>	Sundrops	√		
<i>Paeonia species</i>	Peony	√		
<i>Peony lactiflora</i>	Peony	√		
<i>Petunia hybrida</i>	Petunia	√		
<i>Petunia multiflora</i>	Petunia	√		
<i>Phlox subulata</i>	Thrift	√		
<i>Platycodon grandiflorum</i>	Balloon Flower	√		
<i>Salvia splendens</i>	Scarlet Sage	√		
<i>Skokesa laevis</i>	Stokes' Aster	√	√	
<i>Tropaeolum majus</i>	Nasturtium	√		
<i>Verbena canadensis</i>	Verbena	√	√	
<i>Vinca rosea</i>	Madagascar Periwinkle	√		
<i>Viola odorata</i>	Sweet Violet	√		
<i>Viola tricolor hortensis</i>	Pansy	√		
<i>Zinna elegans</i>	Small Flowered Zinna	√		
<b>Vines/Ground Covers</b>				
<i>Clematis jackmanii</i>	Jackman Clematis	√		
<i>Clematis paniculata</i>	Sweet Autumn Clematis	√		
<i>Euonymus fortunei vegetus</i>	Bigleaf Wintercreeper	√		√
<i>Gelsemium sempervirens</i>	Yellow Jessamine	√	√	
<i>Hedera helix</i>	English Ivy	√		√
<i>Ipomoea purpurea</i>	Morning Glory	√		
<i>Lonicera japonica</i>	Japanese Honeysuckle	√		√
<i>Parthenocissus quinquefolia</i>	Virginia Creeper	√	√	
<i>Parthenocissus tricuspidata</i>	Boston Ivy	√		
<i>Rose banksiae</i>	Banks Rose	√		
<i>Smilax lanceolata</i>	Smilax	√		
<i>Trachelospermum jasminoides</i>	Star Jasmine	√		
<i>Wisteria senensis</i>	Chinese Wisteria	√		√





## 11.0 Guidelines for Nonhistoric Properties

Located within the boundaries of local historic districts are likely to be three “types” of nonhistoric properties, based on location: (1) those located in the core of the district, adjacent to or in the immediate vicinity of historic properties; (2) those located in buffer areas situated along the edges of the district; and (3) those located in areas defined as “intrusions,” large concentrations of nonhistoric properties within the core area of the district.

**Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Board of Architectural Design & Historic Review shall evaluate the change for its potential impacts to any historic properties in the area of influence of the nonhistoric property. Guidelines presented in *Section 6.0: New Construction Guidelines* are relevant to such evaluations.**



